

1 BILL NO. X-82- 02-25

2 ANNEXATION ORDINANCE NO. X-

02-82

3 AN ORDINANCE annexing certain territory  
4 commonly known as Westwood Valley Annexation  
5 to Fort Wayne, and including the same in  
6 Councilmanic District No. 3.

7 BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF FORT WAYNE,  
8 INDIANA:

9 SECTION 1. That the following described territory be, and the  
10 same is hereby, annexed to and made part of the corporation of the City  
11 of Fort Wayne, Indiana, to-wit:

12 Part of the West Half of the Northeast Quarter of Section 33,  
13 Township 31 North, Range 12 East, Allen County, Indiana, and  
14 more specifically described as follows:

15 Beginning at the point where the North right-of-way line of  
16 West State Boulevard intersects with the West line of the  
17 Northeast Quarter of Section 33, Township 31 North, Range 12  
18 East, Allen County, Indiana; thence North 00 degrees 03 minutes  
19 31 seconds East along the West line of the Northeast Quarter  
20 of said Section 33 a distance of 505.90 feet; thence North  
21 62 degrees 47 minutes 08 seconds East a distance of 653.6 feet;  
22 thence North 42 degrees 54 minutes 13 seconds East a distance  
23 of 297.7 feet; thence North 56 degrees 15 minutes 53 seconds  
24 East a distance of 646.9 feet to the East line of the West Half  
25 of said Northeast Quarter; thence South 00 degrees 20 minutes  
26 05 seconds East along said East line a distance of 1382.2 feet  
27 to the North right-of-way line of West State Boulevard; thence  
28 West along the North right-of-way line of West State Boulevard  
29 to the point of beginning; area containing 27.6 acres, more or  
30 less.

31 SECTION 2. It is the policy of the City of Fort Wayne to furnish  
32 the above described territory within a period of one (1) year from the  
effective date of annexation, governmental services of a non-capital nature  
in a manner which is equivalent in standard and scope to those non-capital  
services provided to areas within the City which have similar topography,  
patterns of land utilization, and population density to the said described  
territory. It is also the policy of the City of Fort Wayne to provide  
services of a capital improvement nature to the annexed territory within  
three (3) years of the effective date of annexation in the same manner as  
such services are provided to areas already in the City with similar topo-  
graphy, patterns of land utilization and population density, and in a manner  
consistent with federal, state, and local laws, procedures and planning

criteria.

SECTION 3. Governmental and proprietary services will be provided to the above described territory in a manner consistent with the written Fiscal Plan for the territory developed by the Department of Community Development and Planning. Said Plan was examined by the Common Council and is approved and adopted by the Common Council by the passage of this Ordinance.

SECTION 4. Said described territory shall be part of City Councilmanic Political Ward #3 of the City of Fort Wayne, Indiana, as described in Division 1, Section 2-9 of Chapter 2 of the Code of the City of Fort Wayne, Indiana of 1974, as amended.

SECTION 5. This Ordinance shall be in full force and effect after its passage, approval by the Mayor and final publication thereof as required by law.

CITY OF FORT WAYNE

  
Councilmember

APPROVED AS TO FORM AND LEGALITY

  
BRUCE O. BOXBERGER, CITY ATTORNEY

Read the first time in full and on motion by Bradbury, seconded by Stier, and duly adopted, read the second time by title and referred to the Committee Annexation (and the City Plan Commission for recommendation) and Public Hearing to be held after due legal notice, at the Council Chambers, City-County Building, Fort Wayne, Indiana, on the 19, at 5 o'clock P.M., E.S.T.

DATE: 2-23-82

Charles W. Westerman  
CHARLES W. WESTERMAN - CITY CLERK

Read the third time in full and on motion by Bradbury, seconded by Stier, and duly adopted, placed on its passage. PASSED (Lost) by the following vote:

	<u>AYES</u>	<u>NAYS</u>	<u>ABSTAINED</u>	<u>ABSENT</u>	<u>TO-WIT:</u>
<u>TOTAL VOTES</u>	<u>8</u>	<u>0</u>		<u>1</u>	
<u>BRADBURY</u>	<u>X</u>				
<u>BURNS</u>	<u>X</u>				
<u>EISBART</u>	<u>X</u>				
<u>GIAQUINTA</u>	<u>X</u>				
<u>NUCKOLS</u>				<u>X</u>	
<u>SCHMIDT</u>	<u>X</u>				
<u>SCHOMBURG</u>	<u>X</u>				
<u>STIER</u>	<u>X</u>				
<u>TALARICO</u>	<u>X</u>				

DATE: 5-11-82

Charles W. Westerman  
CHARLES W. WESTERMAN - CITY CLERK

Passed and adopted by the Common Council of the City of Fort Wayne, Indiana, as (ZONING MAP) (GENERAL) (ANNEXATION) (SPECIAL)

(APPROPRIATION) ORDINANCE (RESOLUTION) NO. X-02-82  
on the 11th day of May, 1982.

ATTEST:

(SEAL)

Charles W. Westerman  
CHARLES W. WESTERMAN - CITY CLERK

Samuel J. Talarico  
PRESIDING OFFICER

Presented by me to the Mayor of the City of Fort Wayne, Indiana, on the 12th day of May, 1982, at the hour of 11:00 o'clock A.M., E.S.T.

Charles W. Westerman  
CHARLES W. WESTERMAN - CITY CLERK

Approved and signed by me this 13th day of May, 1982, at the hour of 4 o'clock P.M., E.S.T.

Win Moses, Jr.  
WIN MOSES, JR. - MAYOR

BILL NO. X-82-02-25

REPORT OF THE COMMITTEE ON ANNEXATION

WE, YOUR COMMITTEE ON Annexation TO WHOM WAS REFERRED AN  
ORDINANCE annexing certain territory commonly known as  
Westwood Valley Annexation to Fort Wayne, and including the same  
A  
in Councilmanic District No. 3

HAVE HAD SAID ORDINANCE UNDER CONSIDERATION AND BEG LEAVE TO REPORT  
BACK TO THE COMMON COUNCIL THAT SAID ORDINANCE Do PASS.

JANET G. BRADBURY - CHAIRMAN

Mark E. Gishquinta  
DONALD J. SCHMIDT - VICE CHAIRMAN

BEN A. EISBART

Donald J. Schmidt  
MARK E. GIAQUINTA

PAUL M. BURNS

5-11-82  
DATE 5-11-82 CHARLES W. WESTERMAN, CITY CLERK

TITLE OF ORDINANCE Ordinance For Westwood Valley Annexation X-82-02-25

DEPARTMENT REQUESTING ORDINANCE Community Development & Planning

SYNOPSIS OF ORDINANCE Ordinance annexes said territory to the City of Fort Wayne.  
The annexation area contains approximately 27 acres and is bounded on its southern and  
eastern sides by the City. The basis for annexing this area is the provision of State law  
that allows the annexation of an area if at least one-eighth (1/8) of its aggregate external  
boundaries border the City's and that either: the population density of the area is at least  
three persons per acre; or that sixty (60%) percent of the area is subdivided; or that the  
territory is zoned for commercial, business, or industrial uses. The Westwood Valley  
Annexation is more than 60% subdivided and is fifty-six percent (56%) contiguous to the City.

EFFECT OF PASSAGE Described territory will become part of the City. In addition,  
annexation will expand the City's tax base and will allow the City to keep pace with urban  
growth. ADDITIONAL VALUATION

EFFECT OF NON-PASSAGE The area will not become part of the City.

MONEY INVOLVED (Direct Costs, Expenditures, Savings) To be explained by the Fiscal  
Plan, which will be prepared by the Department of Community Development and Planning.

ASSIGNED TO COMMITTEE (J.N.) Annexation



# The City of Fort Wayne

29 April 1982

TO: Common Council  
City of Fort Wayne

RESOLUTION  
OF THE  
CITY PLAN COMMISSION

BE IT HEREBY RESOLVED that the City Plan Commission on  
April 26, 1982 recommended DO PASS for the Westwood Valley annexation.  
Annexation Bill No. X-82-02-25 and Resolution No. R-82-02-26.

Certified and signed this  
29th day of April 1982.

Dennis J. Grotrian  
Secretary

# Memorandum

To Members of Common Council

Date 29 April 1982

From Michael Graham, Planner II, CD&P

Subject Westwood Valley

## COPIES TO:

Common Council  
John Logan  
file

At the April 26, 1982 meeting of the City Plan Commission, the Commission passed a resolution recommending that the Westwood Valley annexation, Bill No. X-82-02-25 and Resolution No. R-82-02-26, be given a DO PASS. A copy of the Commission resolution and the annexation fiscal plan are attached for your consideration. The ordinance and annexation resolution have been returned to the Council for action.

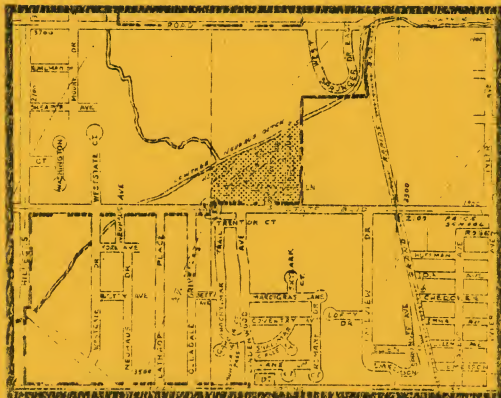
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# WESTWOOD VALLEY FISCAL PLAN

Prepared by:

DEPARTMENT OF COMMUNITY  
DEVELOPMENT AND PLANNING





# Addendum

In determining the revenue generated from an annexation area, we have used the formula shown in Table 3. It has come to our attention, however, that the 20% tax credit which is deducted from each property owner is returned to the municipality by the state with revenues raised by the state sales tax. Therefore, the revenue raised by this annexation in 1983 would be \$5,628.01 instead of \$4,502.40. In light of this change, Table 6 (Revenues Minus Expenses) is revised as follows:

	Expenditures	Property Tax Revenue	Balance
1983	\$4,645.48	\$	-\$4,645.48
1984	\$3,789.79	\$5,909.41	+\$2,119.62
1985	\$4,233.19	\$6,204.88	+\$1,971.69
1986	\$4,729.47	\$6,515.12	+\$1,559.17
	<u>\$25,678.63</u>	<u>\$25,470.28</u>	<u>+\$2,791.65</u>

So, instead of losing \$2,219.49 over the 1983-87 period, the Westwood Valley Annexation will actually be a revenue winner, with revenues exceeding expenses by \$2,791.65.

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## SECTION ONE

### BASIC DATA

#### A. Location

The area proposed for annexation is located northwest of Fort Wayne and is bounded on the south and east by the City, on the north by Neuhaus Ditch, and on the west by the east-west center-line of Section 33.

#### B. Size

The Westwood Valley Annexation Area encompasses approximately 27 acres.

#### C. Population

Advanced report figures from the 1980 Census of Population and Housing show that there are 2.77 persons per dwelling unit in Census Tract 106. Multiplying this figure by the 10 dwelling units that are in the annexation area, we estimate that there are approximately 28 people residing in Westwood Valley.

#### D. Buildings

There are 10 Single Family homes in the annexation area. The rest of the platted subdivision is vacant.

#### E. Land Use

	Acres	Percent
Residential	3	11%
Vacant	15.3	58%
Roads	3.3	12%
Common Area	<u>5</u>	<u>19%</u>
	26.6	100%

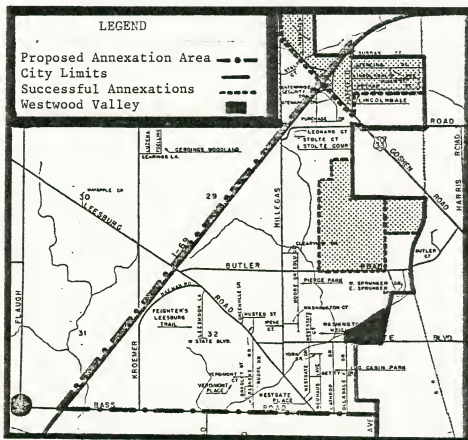
#### F. Zoning

Under County jurisdiction, the area is currently zoned RSP-1 (Planned Single Family). Upon annexation, the land will be under the jurisdiction of the City Plan Commission and will be zoned R-1 (Single Family Residential).

## THE COMPREHENSIVE ANNEXATION PROGRAM

Also identified in the recommended annexation area, (described in the report as WASH-4) are the areas known as Hefner Farm (since annexed), Highview (since annexed), and Hefner-Huguenard (since annexed). Figure 1 shows the WASH-4 annexation area and the annexations which have occurred since the report was prepared.

Figure 1



## ANNEXATIONS IN WASH-4

## SECTION THREE

### STATE LAW REQUIREMENTS

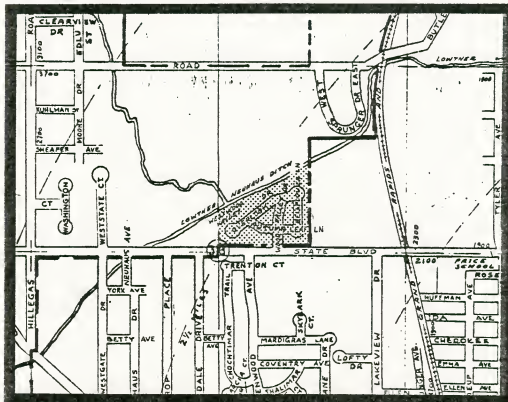
#### A. State Law

Westwood Valley is being annexed according to the state law criteria which states that in order for the annexation to be valid, at least one-eighth of the aggregate external boundaries of the annexation area must be contiguous with the boundaries of the municipality and that either: (A) The population density of the proposed annexation area is at least three persons per acre; (B) Sixty percent of the annexation area is subdivided; or (C) The area is zoned for commercial, business, or industrial uses (IC-36-4-3-13). In addition, the municipality must develop a written fiscal plan for the annexation area.

#### B. Contiguity

Although state law requires an annexation area to be at least one-eighth contiguous to the City, the aggregate external boundaries of the Westwood Valley annexation area are fifty-six percent contiguous, which is more than four times that required by state statute.

Figure 2



LOCATION

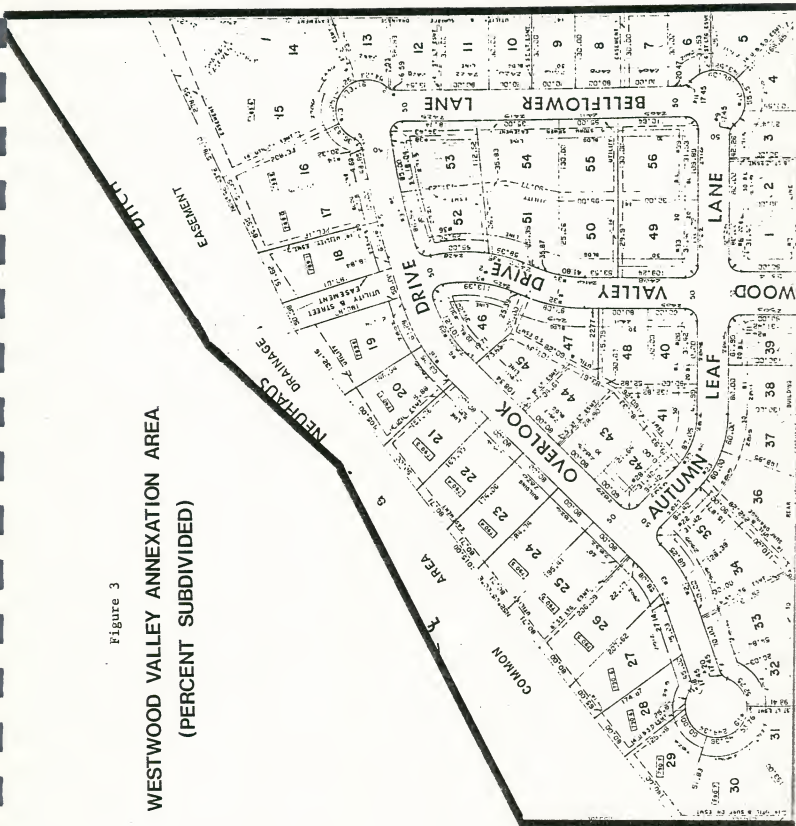
### C. SUBDIVISION

The Indiana State Legislature, while not wanting to grant municipalities unlimited power to annex yet, at the same time, recognizing that annexation is necessary for the continued well-being of many cities and, therefore, should not be unduly stifled, has made the state annexation statute flexible. Accordingly, the legislature has defined several different ways in which annexation can be justified. For example, if an area is at least one-eighth contiguous to a municipality, that area can be annexed if any one of three conditions exist. The first condition is that the population density of the area must be at a certain level (three persons per acre). A second condition which, together with the contiguity requirement, will enable a city to annex an area is that the area in question must be at least sixty percent subdivided. Finally, if an area is zoned for industrial, commercial, or business use, it is also an acceptable annexation area.

As already mentioned, Westwood Valley is more than one-eighth contiguous. Therefore, the question now becomes, Does it meet any of the three conditions mentioned above? Figure 3 shows how much of the Westwood Valley Annexation Area has been subdivided. As can be seen, the area is almost 100% subdivided. Thus, the City of Fort Wayne is operating well within the confines of state law in attempting this annexation.

Figure 3

# WESTWOOD VALLEY ANNEXATION AREA (PERCENT SUBDIVIDED)



## SECTION FOUR

### FORT WAYNE ANNEXATION POLICY

The Fort Wayne City Council has established annexation criteria in addition to those set forth by the Indiana Statutes. The preceding sections outline these criteria followed by the necessary response.

- (1) The area proposed for annexation must have a unity of interest with the municipality:

The Westwood Valley is actually part of the Fort Wayne urban community. Residents share recreational, commercial, cultural and social facilities with city residents.

- (2) The advantages to the proposed annexation must outweigh the disadvantages:

Advantages for the annexation area include the provision of urban services such as garbage collection, improved traffic control measures, and the like. Also, residents will acquire a voice in City Government in which they share a mutual interest. There is an overall community benefit, of which Westwood Valley is part, of a more equitable tax base. Barrett Bonding for capital improvements will also be available to the residents. The only major disadvantage to the residents is an increase in property taxes.

- (3) The advantages to the City must outweigh the disadvantages:

The City will grow along with the urban area, thereby preserving a strong tax base. This, in turn, will enable the City to continue providing municipal services to City residents. Annexation of this area will help to eliminate the already existing tax inequities. City residents pay City and County taxes which help support services to the growing suburban residents. Yet suburban residents do not pay City taxes to support the services they are using. Finally, this area is needed by the City so that it can better manage expected growth in this area to the benefit of City residents.

- (4) The deficit of income against expenses to the City must not be unreasonable.

As shown in Section IV, Financial Summary, there will be a slight deficit of \$2,219.49 in the five-year period from 1983-87. This is not an unreasonable deficit and it should be pointed out that after the initial first year loss of \$4,645.48, the annexation area will begin to show a profit for the City.



(5) The City must desire to annex the area.

The Westwood Valley Annexation is desired and needed by the City of Fort Wayne to permit the City to: grow along with the urban area; preserve a strong tax base; and to eliminate existing tax inequities. The City also desires this area so that it can better manage expected growth.

## SECTION FIVE

### MUNICIPAL SERVICES

This section of the Fiscal Plan forecasts the costs and methods of financing services for the Westwood Valley Annexation Area. The plan also describes how and when the City plans to extend the services of non-capital improvement and capital improvement natures. As will be seen, the explanations of the above provisions satisfy the requirements of Indiana State Law.

The Fort Wayne City Council adopted Resolution No. R-56-79 in 1979. This Resolution establishes a policy for providing municipal services to annexed areas. The directives of Resolution R-56-79, which are based on state annexation law, are followed by this Fiscal Plan. The municipal services described in this section are analyzed according to the needs of the Westwood Valley Annexation Area, along with the costs of providing these services and the funding sources. As required by state law, upon annexation Westwood Valley will be treated equally with other City areas and will receive urban services in the same manner as other areas within the City. However, because the City does not employ different service standards for different areas of the City, the annexation area is compared with the service standards as they exist for the entire City. Immediately upon annexation the City of Fort Wayne will provide police and fire protection, emergency medical service, traffic control, solid waste collection, and street and road maintenance. Street lighting and street construction will be provided in accordance with the standard processes of the City, which include petitioning and financial participation by property owners. The water, sewer, and drainage services of the Fort Wayne City Utilities will be made available to the area in conformance with relevant state law and utility policies. Existing facilities of the Fort Wayne Parks and Recreation Department will also be available to residents of the area upon annexation. Park development within the annexation area is contingent upon the park planning standards and methods used throughout the City.

The specifics of implementing the services mentioned above are presented in the following departmental reports. The service departments of the City will be notified prior to the date that Westwood Valley becomes part of Fort Wayne. This will allow the departments time to adjust their jurisdictional boundary lines and prepare proper service strategies.

#### A. POLICE

The Fort Wayne Police Department will become responsible for servicing Westwood Valley immediately upon annexation. This service generally includes the prevention of crime, the detection and apprehension of criminal offenders, assistance for those who cannot care for themselves or who are in danger of physical harm, the resolution of day-to-day conflicts among family, friends and neighbors, and the creation and maintenance of a feeling of security in the community. The Police Department is also involved in legal work, such as participation in court proceedings and protection of constitutional guarantees. It is also responsible for the control of traffic and the promotion and preservation of civil order.

District 2 will be expanded to cover the Westwood Valley Annexation Area. The Police Department keeps tabulation on the percentage of personnel and equipment necessary for the City's annexation program, and has determined that additional personnel are not required for this particular annexation. A maximum number of 11 patrols is forecast for the annexation area within a 24-hour period. The A and C shifts will make a maximum of 4 patrols while the B shift will make a maximum of 3 patrols. Even though there will be daily variations, the Chief of Police will routinely monitor the situation and will make the necessary adjustments in patrol districts, patterns, and manpower so that response time to high priority calls will be approximately 3 minutes--which is standard for the City.

The cost to provide police protection to Westwood Valley will be \$321.20 a year. This cost is based on a maximum of 11 patrols in a 24-hour period. To arrive at the total cost for police services, the number of street miles in the annexation area is calculated and multiplied by the travel cost per mile. Funding for police manpower and equipment to be used for the annexation area will come from the regular Police Department budget which is derived primarily from local property taxes through the General Fund. Money allocated to the General Fund can be used for this budget and these services.

ESTIMATED ANNUAL COST: \$321.20

#### B. FIRE DEPARTMENT

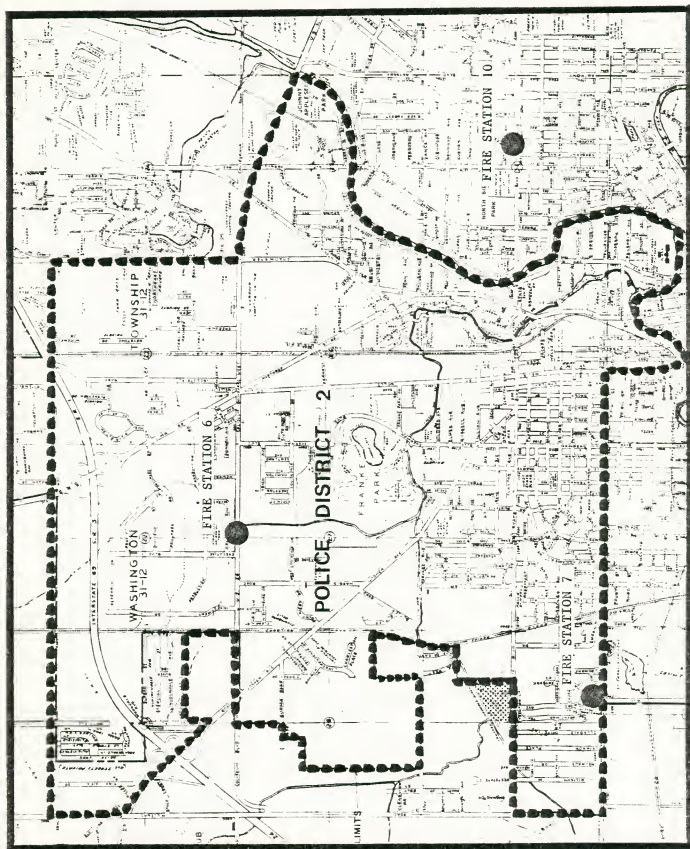
The Fort Wayne Fire Department will provide service to the Westwood Valley Annexation Area immediately upon incorporation. The services provided include fire protection and suppression, emergency rescue, and fire prevention. The first responding fire company will be from Station 7 at 1602 Lindenwood Avenue. If needed, backup response will come from Station 6 at 1500 W. Coliseum Blvd. and Station 10 at 1245 E. State Street.

Presently, the Fort Wayne Fire Department serves an area contiguous to over one-half of the proposed annexation area. Part of the present service area is north and west of the annexation area and is further away from Station 7 than Westwood Valley. Therefore, the Fire Department's response time of 1.5 minutes will be within the standards maintained by the City. In addition, the response distance for the Fire Department is well within the limits advised by the Insurance Services Organization. The maximum response distance suggested by the Insurance Services Organization is 4 miles. The greatest distance to be covered by the Fort Wayne Fire Department in response to a call in Westwood Valley will be .6 mile.

This particular annexation will not require a new fire station nor will it require additional personnel and equipment. The only additional expense that is expected will be from operating costs for such items as postage, printing, photography, and gasoline. However, the operating costs will be minimal considering that Westwood Valley will be only a fraction of the total area serviced by the City. Funding for the operating costs will come from the Fire Department budget through the General Fund.

ESTIMATED ANNUAL COST: \$230.00

Figure 4



POLICE AND FIRE SERVICE

#### C. SOLID WASTE DISPOSAL

The City of Fort Wayne will provide garbage collection to Westwood Valley immediately upon annexation. The City currently contracts with National Serv-All to provide this service. However, the contract is being re-bid, so that it is impossible to estimate what the new collection costs will be. Presently, the City is charged \$35.88 per household per year by National Serv-All for single family and duplex housing. In multiple family developments, the costs for solid waste collection is \$35.88 for every two units. Since Westwood Valley contains 10 single family homes, garbage disposal for the area will cost the City \$358.80 a year. The collection service will be financed by the City's Garbage Disposal Fund which comes from the General Fund.

ESTIMATED ANNUAL COST: \$358.80

#### D. TRAFFIC CONTROL

The City's Traffic Engineering Department will assume responsibility for traffic control in Westwood Valley immediately upon annexation. It will take the Department eight to ten months to upgrade the traffic control system so that it is comparable to that of the City's. Some of the services that can be provided by the Traffic Engineering Department are surveys and investigations of traffic conditions and problems. The Department can also recommend and implement solutions to traffic control problems. Finally, the Department provides installation and maintenance of traffic control devices such as stop lights, control signs, and fire alarm systems.

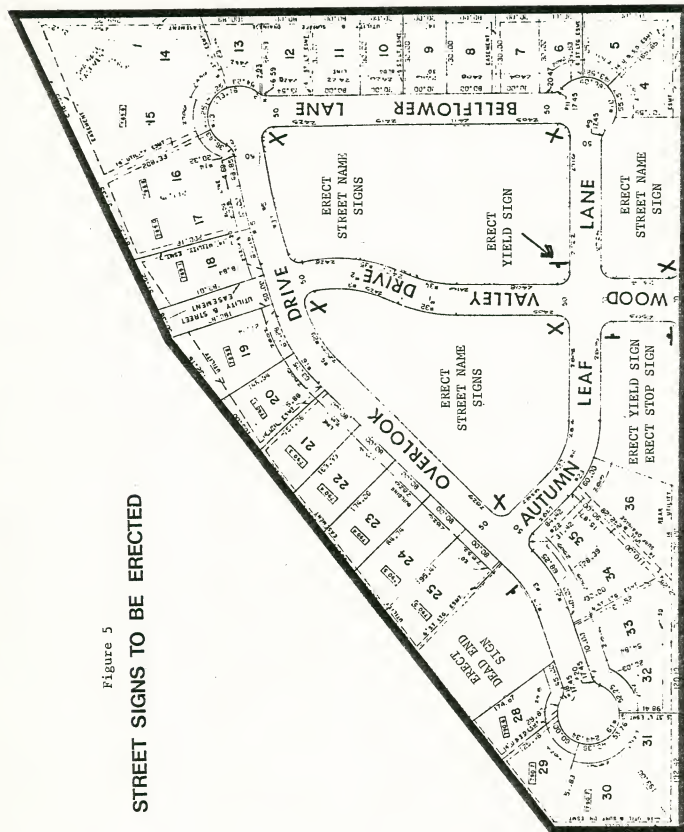
The Traffic Engineering Department will not require additional personnel to perform its services in Westwood Valley, but additional traffic signs and posts will be needed. The costs for these items are listed in Table 1.

Table 1

ITEM	NUMBER	COST	COMBINED COST
Signs:			
Stop	1	\$28.35	\$ 28.35
Yield	2	\$23.40	\$ 46.80
Dead End	1	\$19.80	\$ 19.80
Street Name	6	\$38.65	\$231.90
Misc.:			
Posts - 12'/3 lb.	3	\$15.20	\$ 46.95
Posts - 12'/2 lb.	7	\$11.25	\$ 78.75
TOTAL COSTS			\$452.55

#### TRAFFIC ENGINEERING COSTS

Figure 5  
STREET SIGNS TO BE ERECTED



The annexation of Westwood Valley will create two types of expenditures for the Department of Traffic Engineering. First, there will be capital costs for such items as stop signs. Capital costs are a one time expense to upgrade the area's traffic control system so that it is compatible with the traffic control system of Fort Wayne. The total capital cost expected for this annexation is \$452.65. The second expenditure to be incurred by the Traffic Department is the annual cost to maintain the traffic control system. Assuming that the street signs fulfill their life expectancy (approximately 20 years) the annual maintenance cost will be \$22.63. Another \$8.00 a year will be added to this total for replacement or repair of signs that will be damaged or destroyed.

CAPITAL COST: \$452.65

ESTIMATED ANNUAL COST: \$30.63

#### E. STREETS AND ROADS

The incorporation of Westwood Valley will add .57 miles of residential roads to the City's street system. The streets within the annexation area are listed below, followed by their classification, their physical makeup, and their condition.

Table 2

STREET	CLASSIFICATION	CONSTRUCTION	
		MATERIAL	CONDITION
Wood Valley Drive	Residential	Concrete	Excellent
Overlook Drive	Residential	Concrete	Excellent
Autumn Leaf Lane	Residential	Concrete	Excellent
Bellflower Lane	Residential	Concrete	Excellent

### ROAD CLASSIFICATION

General maintenance of the streets listed above will be the responsibility of the Fort Wayne Street Department immediately after annexation of Westwood Valley. This service includes snow and ice removal, mowing along the roadside, leaf pick up, and surface maintenance. The Traffic Engineering Department will also provide engineering services and construction supervision of all streets, alleys, and sidewalks that will be constructed within the proposed annexation area. The provision of these services to the annexation area will not require any additional personnel or equipment, and they will be comparable to those services already provided to the City of Fort Wayne immediately upon annexation. The average cost of general street maintenance is \$2,500 per mile of street, so the Westwood Valley annexation will cost the City approximately \$1,425 a year in street maintenance costs. The source of funding for street maintenance is the Street Department budget which is composed of funds from Motor Vehicle Highway (MVH), Federal Aid Urban (FAU), and Local Arterial Roads and Streets (LARS).

Besides the mandatory maintenance services just discussed, the Street Department will improve streets upon receipt of a petition from the property owners. Arterial and often collector streets can be improved with funding from accounts such as FAU and LARS. The cost to improve residential streets is split between the property owners petitioning for the improvements and the City. The property owners share is 75% and the City's is 25%. The City's share will come from Motor Vehicle Highway funds. All petitions from Westwood Valley will be treated equally with other petitions in the City and honored according to the same criteria such as filing date and amount of money available in any particular year. If annexed, the residents will be able to use Barrett Bonding as a capital source to finance their share of the street project.

ESTIMATED ANNUAL COST: \$1,425

F. PARKS

Residents of Westwood Valley presently have access to City park facilities such as swimming pools, ball diamonds, picnic facilities, day camp, golf courses, indoor and outdoor ice skating facilities, and so forth.

At this time, there are no plans for constructing parks in the Westwood Valley area as the current need does not require such improvements. If money is available from the Park General Fund, revenue sharing, or the Capital Improvement Fund, approximately 60 trees could be planted at 60-foot intervals along streets at \$45 a tree.

ANNUAL ESTIMATED COST: \$0

G. WATER

All of the ten structures within the Westwood Valley Annexation Area are receiving City water. If requested, the Fort Wayne Water Utility has the capacity and the capability to provide sufficient volumes of water to the remaining portions of the annexation area as they are developed.

ESTIMATED ANNUAL COST: \$0

H. FIRE HYDRANTS

The Civil City of Fort Wayne pays the Water Utility \$151.20 annually for each fire hydrant located within the City. Since the proposed annexation area contains 6 hydrants, the City will pay the utility \$907.20 a year upon annexation.

ESTIMATED ANNUAL COSTS: \$907.20



#### I. STREET LIGHTING

Within three years after annexation, the City will erect a street light at the intersection of State Boulevard and Wood Valley Drive. The installation cost will be \$800 and will be paid for by the City. In addition, maintenance and operating costs, which will also be paid by the City, will be \$120 a year.

Regarding street lighting within the subdivision, the final development plan that was approved for Westwood Valley requires each home to provide a yard light located fifteen feet from the curb and which will be illuminated every day from dusk to dawn. These illuminating devices will be privately owned and will be maintained and operated at the expense of the home owner. Should the property owners desire additional lighting, they must file a petition which is signed by a majority of the affected property owners. Once the petition is received by the City, it will be placed on a waiting list. When street lights have been constructed for all requests that were received before the Westwood Valley petition, construction will begin on street lighting in Westwood Valley as soon as funds are available.

Many times the City will absorb the entire cost of street light installation. However, this policy pertains only to those areas who request standard street lighting. If an area requests ornamental lighting (which also includes underground wiring) the residents will pay the difference between the standard and the ornamental lighting costs. This policy is mentioned because it appears that the restrictive covenants and the utility easements for Westwood Valley limit street lighting to ornamental lights (no overhead wiring). In this case, upon petition, 25-30 street lights will be installed throughout the subdivision at an approximate cost of \$3.27 per front foot. Thus, a lot with 80 feet fronting on the street would be assessed \$261.60.

CAPITAL COST: \$800

ESTIMATED ANNUAL COST: \$120

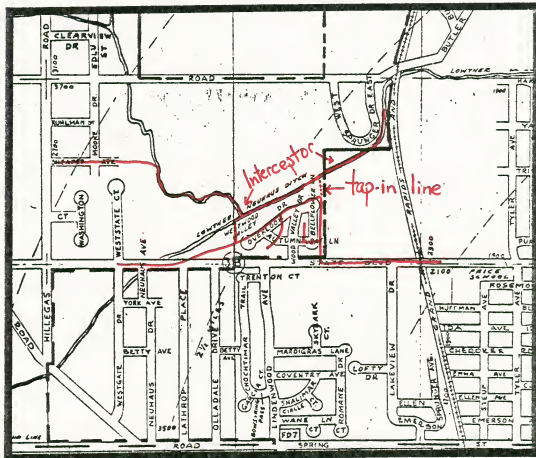
#### J. SANITARY SEWERS

Prior to development, the owners of Westwood Valley, Inc. signed a contract with the City of Fort Wayne for the extension of sewer services. According to the terms of this contract, the City agreed to extend sewer services into the subdivision and, in return, the developers as well as their successors in title, agreed to waive their rights to remonstrate against annexation (Section 19-2-7-16 of the Indiana Code has expressly authorized municipalities to obtain such waivers whenever sewers are extended). As a result, all ten homes in the annexation area are using the sewer system operated by the Fort Wayne Department of Water Pollution Control and, in doing so, have waived their right to remonstrate. As additional homes are constructed in Westwood Valley, future homeowners can also tap into the existing sewer system but will give up their right to remonstrate.

Before the sewer system was built however, it became apparent that, due to the terrain of the area and the location of the sewer lines, all of the subdivision could not be served by a gravity flow sewer system. Consequently, a pumping station had to be built to service those parts of the subdivision unable to use gravity flow. The agreement reached between the developer and the City stipulated that the developer would be responsible for the construction, operation, and maintenance of the lift station, even after the area was annexed. However, because both parties knew at the time of the agreement that a sewer line was scheduled to be built by the City along the northern boundary of the subdivision, the location of this line, running through the Neuhaus Ditch, would enable the entire subdivision to take advantage of a gravity flow system. It was further stipulated, therefore, that the developer would be required to tap into the Neuhaus Ditch line after it was ready for operation. Presently, the Neuhaus Ditch Interceptor has been completed and is undergoing a series of tests to ensure that there are no flaws in its operation. The line is expected to be approved for public use within the next several months. At that time, the developer will be required to tap into the line. Figure 6 shows the location of the Neuhaus Ditch Interceptor and the location of the projected tap-in line that will be constructed by the developer.

ESTIMATED ANNUAL COST: \$0

Figure 6



SEWER LINES

#### K. STORM SEWERS

The Fort Wayne Department of Water Pollution Control does not provide storm sewer service to areas outside of the City. At this time, there is no record of a City storm drainage system in the annexation area. This means that upon annexation, the installation of a storm sewer system, or the maintenance of any existing storm sewer system already within the area is the responsibility of the property owners.

Upon annexation, the Department of Water Pollution Control will not consider capital improvements for storm sewers unless petitioned by the residents of the area. The City does not have storm sewer relief funds available for this type of project. It is the City's policy that the financing of storm sewers be the responsibility of property owners. Residents can pay through Barrett Law Assessments which allows payment over a 10-year period at an interest rate generally lower than that available in the open market.

When the Board of Works receives a petition from the affected property owners, it will direct the Department of Water Pollution Control to make an investigation of storm drainage conditions. Upon completion of the study, a contract for storm drainage construction may be let by the Board of Works.

ESTIMATED ANNUAL COST: \$0

#### L. EMERGENCY MEDICAL SERVICE (EMS)

At the present time, the Emergency Medical Service provides Basic Life Support service only to City residents. Therefore, Westwood Valley residents will begin receiving this service immediately after annexation. On the other hand, EMS provides Advance Life Support (ALS) service to the entire county. Consequently, annexation will not affect the delivery of Advanced Life Support service and the residents of Westwood Valley will continue to receive ALS service after annexation.

Using service run records of the past several years, as many as six EMS ambulances will be stationed at different locations throughout the community. Upon receiving a request for service from Westwood Valley, the ambulance closest to the area would be dispatched to the subdivision. In addition, for some emergencies, such as heart attacks, the Fort Wayne Fire Department will provide extra assistance. Primary assistance will come from Station 7 which is approximately 1.5 minutes away from Westwood Valley. Secondary and tertiary assistance from the Fire Department will come, respectively, from Station 6 at 1500 W. Coliseum Boulevard and Station 10 at 1245 E. State Street. The Fire Department trains a number of its personnel so that each fire station has an emergency medical technician. Therefore, if needed, firemen are able to administer medical treatment to residents before the ambulance arrives.

The method of financing Emergency Medical Service is based on charging residents who use the service. The charge will be \$65 for non-emergency runs to \$120 for emergency runs. This method of financing permits EMS service to be extended to Westwood Valley with its existing budget and no additional manpower or equipment will be needed to service the annexation area.

ESTIMATED ANNUAL COST: \$0

M. GENERAL

Upon annexation, all administrative functions of the City will be available to Westwood Valley. This includes, but is not limited to, The Law Department, The City Plan Commission, The Mayor's Office, The Board of Works, Metropolitan Human Relations, and so on. General administration includes all the regulatory and program functions of the various City departments. When the area is annexed, City departments will be notified and will expand their jurisdictional areas accordingly.

The costs of these services cannot be directly related to the size or population of an area. Consequently, this plan does not include cost estimates. However, the budgets of these departments are developed with consideration of annexation, thereby, expansion of administrative functions is possible. Funding comes from a variety of resources including the General Fund, the State (MVH for example), and the Federal Government.

ESTIMATED ANNUAL COST: \$0

## SECTION SIX

### FINANCIAL SUMMARY

The purpose of this section is to report the annual revenues and expenditures from the proposed Westwood Valley Annexation. This section will also provide a five-year summary of expenditures and revenues.

#### A. REVENUES

Property taxes are the main source of revenue to be received from Westwood Valley. Property taxes are computed from the gross amount of assessed valuation in the area which can be obtained from the office of the Washington Township Assessor. The formula for computing tax revenue is shown in Table 3.

Table 3

$$\frac{V-E}{100} (T) - TC = TR$$

Where:

V = Assessed Valuation  
E = Home Mortgage Exemption (\$1,000)  
T = Tax Rate (3.2721)  
TC = Tax Credit  
TR = Tax Revenue

### TAX REVENUE FORMULA

The total assessed valuation of the proposed Westwood Valley Annexation is \$182,000. Deducted from this figure is \$10,000 in home mortgage exemptions (10 dwelling units x \$1,000 mortgage exemption = \$10,000). This deduction leaves a net balance of \$172,000 which is then multiplied by the City's 1981 tax rate of 3.2721 per \$100 in assessed valuation. The computation equals \$5,628.01. Finally, a 20% tax credit is deducted from the \$5,628.01 sub-total to arrive at a final figure. So, the total amount of property tax revenue that could be expected from the annexation area to the City in 1983 is \$4,502.40. Table 4 lists the different funds that make up the Fort Wayne tax rate.

Table 4

FUND	TAX RATE
Corporation General	\$2.3610
Fire Pension	\$ .1985
Police Pension	\$ .2283
Redevelopment General	\$ .0111
Redevelopment Bond	\$ .0898
Park General	\$ .3707
Sanitary Officer Pension	\$ .0127
TOTAL	\$3.2721

### TAXING DISTRICT RATE

In addition to property taxes, the City receives revenues from Federal Revenue Sharing, the Community Development Block Grant, and Local Road and Streets funds. These grants and funds are based in part on the City's population. Since population is only one element of a very complex distribution formula, the direct contribution of the Westwood Valley Annexation cannot be calculated. Still, these funds will increase with City population increases.

#### B. EXPENDITURES

Expenditures that were reported in the section on Municipal Services are summarized in Table 5. Capital costs are separated from operating costs, and they are considered as maximum expenditures. Since the needs of the Westwood Valley area must be treated equally with the needs of Fort Wayne, capital improvement projects such as the installation of streets, curbs, and sidewalks must follow routine City procedures which often require petitioning. Utility costs are not reported here as they are paid for by the property owners, and only after they request the improvements.

#### C. FIVE YEAR SUMMARY

The Five Year Summary shows the projected expenditures compared with the tax revenues expected in Westwood Valley for the first five years after it is incorporated into the City of Fort Wayne.

The summary automatically includes for each of the five years an 11.7% inflation factor for municipal expenditures, and a 5% increase factor for City revenues. The 11.7% inflation factor is the median percent change of selected price indices (Services and Fuel Costs) as calculated by the 1980 Statistical Abstract of the United States.<sup>1</sup> The revenue factor is derived from the percent increase of assessed valuation in the State of Indiana. This increase is applied to the City's allowed levy ceiling.

Table 5

DEPARTMENT	CAPITAL COSTS	OPERATING COSTS
Police	\$ .00	\$ 321.20
Fire	\$ .00	\$ 230.00
EMS	\$ .00	\$ .00
Solid Waste Disposal	\$ .00	\$ 358.80
Traffic Control	\$452.65	\$ 30.63
Streets	\$ .00	\$1,425.00
Street Lighting	\$800.00	\$ 120.00
Parks	\$ .00	\$ .00
Water	\$ .00	\$ .00
Fire Hydrants	\$ .00	\$ 907.20
Sanitary Sewer	\$ .00	\$ .00
Storm Sewer	\$ .00	\$ .00
Admin. Functions	\$ .00	\$ .00
TOTAL	\$1,252.65	\$3,392.83

### EXPENDITURES IN THE ANNEXATION AREA

Table 6 includes both capital and operating costs in the estimated first year expenditures. Capital costs are a one time expenditure to upgrade the proposed annexation area.

Table 6

	EXPENDITURES	PROPERTY TAX REVENUE	BALANCE
1983	\$ 4,645.48	\$	-\$4,645.48
1984	\$ 3,739.79	\$ 4,746.76	+\$ 956.97
1985	\$ 4,233.12	\$ 4,984.10	+\$ 750.91
1986	\$ 4,728.47	\$ 5,233.31	+\$ 504.84
1987	\$ 5,281.70	\$ 5,494.97	+\$ 213.27
TOTAL	\$22,678.63	\$20,459.14	-\$2,219.49

### REVENUES MINUS EXPENSES

Property tax revenue from the annexation area will not be collected until 1984. Assuming the area is not annexed until December 31, 1982, assessment will not occur until March of 1983 and the first City taxes would not be collected until May, 1984. Since revenues are not collected for one year after the effective date of the annexation, the City will experience a loss of \$4,645.48 in 1983. However, beginning in 1984, the amount of revenue will exceed the projected cost estimates to service the area.

FOOTNOTES

<sup>1</sup>Annual Percent Change in Selected Price Indexes: 1960 to 1970,  
The 1980 Statistical Abstract of the United States, U.S. Department of  
Commerce, Bureau of the Census, 101st Edition, Table 794, p. 478.



## SECTION SEVEN

### SUMMARY AND RECOMMENDATION

This fiscal plan shows that the Westwood Valley Annexation is in accordance with all state law requirements -- it is more than one-eighth contiguous to the City and it is more than sixty percent subdivided. In addition, this report contains a plan for providing municipal services. Included in this plan are cost estimates and the methods of financing these extra costs. As each service report indicates, services of a non-capital nature will be provided within one year, while services of a capital nature will be provided within three years and both will be provided in a manner which is comparable to the services received by other areas of the city. Since no employees of other governmental entities will lose their jobs as a result of this annexation, no plan for hiring such unemployed personnel has been included in this plan.

Therefore, because the Westwood Valley Annexation meets all state and local requirements, and because the residents, through their developer, have waived their right to remonstrate against annexation, the staff of the Department of Community Development and Planning recommends that this area be annexed to the City with an effective date of December 31, 1982.





# The City of Fort Wayne

OFFICE OF THE CITY CLERK

Charles W. Westerman, Clerk — Room 122

May 17, 1982

Ms. Judy High  
Fort Wayne Newspapers, Inc.  
600 West Main Street  
Fort Wayne, IN 46802

Dear Ms. High:

Please give the attached full coverage on the dates of May 19 and May 26, 1982, in both the News Sentinel and Journal Gazette.

RE: Legal Notice for Common Council  
of Fort Wayne, IN

Bill No. X-82-02-25  
Annexation Ordinance No. X-02-82

Please send us 6 copies of the Publisher's Affidavit from both newspapers.

Thank you.

Sincerely,

Charles W. Westerman  
City Clerk

CWW/ne  
ENCL; 1

LEGAL NOTICE

Notice is hereby given that on the 11th day of May, 1982, the Common Council of the City of Fort Wayne, Indiana, in a Regular Session did pass the BILL NO. X-82-02-25 following, X-02-82 Annexation Ordinance, to-wit:

BILL NO. X-82-02-25

ANNEXATION ORDINANCE NO. X-02-82

AN ORDINANCE annexing certain territory commonly known as Westwood Valley Annexation to Fort Wayne, and including the same in Councilmanic District No. 3.

BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF FORT WAYNE, INDIANA:

SECTION 1. That the following described territory be, and the same is hereby, annexed to and made part of the corporation of the City of Fort Wayne, Indiana, to-wit:

Part of the West Half of the Northeast Quarter of Section 33, Township 31 North, Range 12 East, Allen County, Indiana, and more specifically described as follows:

Beginning at the point where the North right-of-way line of West State Boulevard intersects with the West line of the Northeast Quarter of Section 33, Township 31 North, Range 12 East, Allen County, Indiana; thence North 00 degrees 03 minutes 31 seconds East along the West line of the Northeast Quarter of said Section 33 a distance of 505.90 feet; thence North 62 degrees 47 minutes 08 seconds East a distance of 653.6 feet; thence North 42 degrees 54 minutes 13 seconds East a distance of 297.7 feet; thence North 56 degrees 15 minutes 53 seconds East a distance of 646.9 feet to the East line of the West Half of said Northeast Quarter; thence South 00 degrees 20 minutes 05 seconds East along said East line a distance of 1382.2 feet to the North right-of-way line of West State Boulevard; thence West along the North right-of-way line of West State Boulevard to the point of beginning; area containing 27.6 acres, more or less.

SECTION 2. It is the policy of the City of Fort Wayne to furnish the above described territory within a period of one (1) year from the effective date of annexation, governmental services of a non-capital nature in a manner which is equivalent in standard and scope to those non-capital services provided to areas within the City which have similar topography, patterns of land utilization, and population density to the said described territory. It is also the policy of the City of Fort Wayne to provide services of a capital improvement nature to the annexed territory within three (3) years of the effective date of annexation in the same manner as such services are provided to areas already in the City with similar topography, patterns of land utilization and population density, and in a manner consistent with federal, state, and local laws, procedures and planning criteria.

SECTION 3. Governmental and proprietary services will be provided to the above described territory in a manner consistent with the written

11 Political Ward #3 of the City of Fort Wayne, Indiana, as described in  
12 Division 1, Section 2-9 of Chapter 2 of the Code of the City of Fort Wayne,  
13 Indiana of 1974, as amended.

14 SECTION 5. This Ordinance shall be in full force and effect after its  
15 passage, approval by the Mayor and final publication thereof as required by  
16 law.

17  
18 CITY OF FORT WAYNE

19  
20 Janet G. Bradbury  
21 Councilmember

22 Read the third time in full and on motion by Bradbury, seconded  
by Stier, and duly adopted, placed on its passage. PASSED by  
the following vote:

Ayes: Eight  
Bradbury, Burns, Eisbart, GiaQuinta, Schmidt,  
Schomburg, Stier, Talarico  
Nays: None  
Absent: One  
Nuckols

Date: 5-11-82

Charles W. Westerman  
City Clerk

Passed and adopted by the Common Council of the City of Fort  
Wayne, Indiana, as Annexation Ordinance No. X-02-82 on the 11th  
day of May, 1982.

ATTEST:

(SEAL)

Charles W. Westerman  
City Clerk

Samuel J. Talarico  
Presiding Officer

Presented by me to the Mayor of the City of Fort Wayne, Indiana,  
on the 12th day of May, 1982, at the hour of 11:00 o'clock A.M., E.S.T.

Charles W. Westerman  
City Clerk

Approved and signed by me this 13th day of May, 1982, at the  
hour of 4:00 o'clock P.M., E.S.T.

Win Moses, Jr.  
Mayor

I, Charles W. Westerman, Clerk of the City of Fort Wayne, Indiana, do hereby certify  
that the above and foregoing is a full, true and complete copy of Annexation  
Ordinance No. X-02-82 passed by the Common Council on the 11th day of  
May, 19 82, and that said Ordinance was duly signed and approved  
by the Mayor on the 13th day of May, 19 82 and now remains on  
file and on record in my office.

WITNESS my hand, and the official seal of the City of Fort Wayne, Indiana, this 13th  
day of May, 19 82.

Charles W. Westerman  
CHARLES W. WESTERMAN  
CITY CLERK

SEAL

LEGAL NOTICE  
Notice is hereby given that on the 11th day of May, 1982, the Common Council of the City of Fort Wayne, Indiana, in a Regular Session did pass the following Bill No. X-02-02-25 X-02-82 Annexation Ordinance, to-wit:  
BILL NO. X-02-02-25  
ANNEXATION ORDINANCE  
NO. X-02-82  
AN ORDINANCE annexing certain territory commonly known as Westwood Valley Annexation to Fort Wayne, and including the same in Councilmatic District No. 3.

BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF FORT WAYNE, INDIANA:

SECTION 1. That the following described territory be, and the same hereby, annexed to and made part of the corporation of the City of Fort Wayne, Indiana, to-wit:  
Part of the West Half of the Northeast Quarter of Section 33, Township 31 North, Range 12 East, Allen County, Indiana, and more specifically described as follows:

Beginning at the point where the North right-of-way line of West State Boulevard intersects with the Northeast Quarter of Section 33, Township 31 North, Range 12 East, Allen County, Indiana, thence North 00 degrees 03 minutes 31 seconds East along the West line of the Northeast Quarter of said Section 33 a distance of 505.90 feet; thence North 62 degrees 47 minutes 08 seconds East a distance of 655.6 feet; thence North 42 degrees 54 minutes 13 seconds East a distance of 297.7 feet; thence North 56 degrees 15 minutes 33 seconds East a distance of 645.3 feet to the East line of the West Half of said Northeast Quarter; thence South 03 degrees 20 minutes 05 seconds East along said East line a distance of 1382.2 feet to the North right-of-way line of West State Boulevard; thence West along the North right-of-way line of West State Boulevard to the point of beginning; area containing 27.8 acres, more or less.

SECTION 2. It is the policy of the City of Fort Wayne to furnish the above described territory within a period of one (1) year from the effective date of annexation, governmental services of a non-capital nature in a manner which is equivalent in standard and scope to those non-capital service areas within the City which have similar topography, patterns of land utilization, and population density to the said described territory. It is also the policy of the City of Fort Wayne to provide services of a capital improvement nature to the abovesaid territory within three (3) years of the effective date of annexation in the same manner as such services are provided to areas already in the City with similar topography, patterns of land utilization and population density, and in a manner consistent with federal, state, and local laws, procedures and planning criteria.

SECTION 3. Governmental and proprietary services will be provided to the above described territory in a manner consistent with the written Fiscal Plan Development and Planning. Said Plan was examined by the Common Council and is approved and adopted by the Common Council by the passage of this Ordinance.

SECTION 4. Described territory shall be part of City Councilmatic District No. 83 of the City of Fort Wayne, Indiana, as described in Division 1, Section 2-6 of Chapter 2 of the Code of the City of Fort Wayne, Indiana of 1974, as amended.

SECTION 5. This Ordinance shall be in full force and effect after its passage, approval by the Mayor and final publication thereof as required by law.

CITY OF FORT WAYNE  
Jonas G. Bradbury  
Councilmember

Read the third time in full and on motion by Bradbury, seconded by Star, and duly adopted, placed on its passage, PASSED by the following vote:

Ayes: Eight  
Bradbury, Burns, Elzert,  
GieQuinn, Schmidt, Schomburg,  
Star, Telarico  
Nays: None  
Absent: One  
Nuckols  
Vote: 5-11-82  
Charles W. Westerman  
City Clerk

Pressed and adopted by the Common Council of the City of Fort Wayne, Indiana, as Annexation Ordinance No. X-02-82 on the 11th day of May, 1982.

ATTEST:  
Charles W. Westerman  
City Clerk

Sherman J. Telarico  
Presiding Officer  
Presented by me to the Mayor of the City of Fort Wayne, Indiana, on the 12th day of May, 1982, at the hour of 11:50 A.M., E.S.T.

Charles W. Westerman  
City Clerk  
Approved and signed by me this 13th day of May, 1982, at the hour of 4:00 o'clock P.M., E.S.T.

Win Moses, Jr.  
Mayor

I, Charles W. Westerman, Clerk of the City of Fort Wayne, Indiana, do hereby certify that the above and foregoing is a full, true and complete copy of Annexation Ordinance No. X-02-82 passed by the Common Council on the 11th day of May, 1982, and that said Ordinance was duly signed and approved by the Mayor on the 13th day of May, 1982 and now remains on file and on record in my office.

WITNESS my hand, and the official seal of the City of Fort Wayne, Indiana, this 13th day of May, 1982.  
CHARLES W. WESTERMAN  
CITY CLERK  
5/19-82

Accounts

Common Council

Unit)

County, Ind

General Form No. 99 P(Rev. 1967)

To NEWS-SENTINEL Dr.

FORT WAYNE, INDIANA

PUBLISHER'S CLAIM

not exceed two actual lines, neither of which shall total more than four solid lines in which the body of the advertisement is set) - number of equivalent lines

lines

1

lines

163

lines

2

number of lines in notice

1 columns wide equals 166 equivalent lines at .300# \$ 49.80

er line

notices containing rule or tabular work (50 per cent of above amount)

of publication (50 cents for each proof in excess of two) 4 extra 2.00

AMOUNT OF CLAIM. \$ 51.80

column 9.6 picas

Size of type 6 point

2

Size of quad upon which type is cast. 6

ities of Ch. 89, Acts 1967.

count is just and correct, that the amount claimed is legally due, after allowing all just credits, and that no part of the same

D. ROOSE

82

Title CLERK

PUBLISHER'S AFFIDAVIT

State of Indiana

ALLEN County SS:

Personally appeared before me, a notary public in and for said county and state, the undersigned, D. ROOSE, who, being duly sworn, says that she is

CLERK

of the

NEWS-SENTINEL

a DAILY newspaper of general circulation printed and published

in the English language in the city of FORT WAYNE, INDIANA

town

in state and county aforesaid, and that the printed matter attached hereto is a true copy,

which was duly published in said paper for two times, the dates of publication being

as follows: 5/19 - 5/26/82

Subscribed and sworn to before me this 26th day of May 1982

D. ROOSE

My commission expires November 29, 1985

November 29, 1985

Fort Wayne Common Council

(Governmental Unit)

To... NEWS-SENTINEL ...Dr.

Allen

County, Ind

FORT WAYNE, INDIANA

## PUBLISHER'S CLAIM

## LINE COUNT

Display Matter (Must not exceed two actual lines, neither of which shall total more than four solid lines of the type in which the body of the advertisement is set) - number of equivalent lines

Head number of lines

1

Body number of lines

163

Tail number of lines

2

Total number of lines in notice

## COMPUTATION OF CHARGES

166 lines, 1 columns wide equals 166 equivalent lines at .300¢ \$ 49.80  
cents per line

Additional charge for notices containing rule or tabular work (50 per cent of above amount)

Charge for extra proofs of publication (50 cents for each proof in excess of two) 4 extra

2.00

TOTAL AMOUNT OF CLAIM.

\$ 51.80

## DATA FOR COMPUTING COST

Width of single column 9.6 picas

Size of type 6 point

Number of insertions 2

Size of quad upon which type is cast 6

Pursuant to the provision and penalties of Ch. 89, Acts 1967.

I hereby certify that the foregoing account is just and correct, that the amount claimed is legally due, after allowing all just credits, and that no part of the same has been paid.

D. Roose

Date May 26 1982

Title CLERK

Form 903

## PUBLISHER'S AFFIDAVIT

State of Indiana  
ALLEN County SS:

Personally appeared before me, a notary public in and for said county and state, the undersigned D. ROOSE who, being duly sworn, says that she is CLERK of the

NEWS-SENTINEL

a DAILY newspaper of general circulation printed and published in the English language in the city of FORT WAYNE, INDIANA town

in state and county aforesaid, and that the printed matter attached hereto is a true copy, which was duly published in said paper for two times, the dates of publication being as follows: 5/19 - 5/26/82

Subscribed and sworn to before me this

26th

day

May

19

82

November 29, 1985

My commission expires

D. Roose  
Notary Public  
Chas. M. Perkins





## Fort Wayne Common Council

(Governmental Unit)

Allen

County, Ind.

To JOURNAL-GAZETTE Dr.

FORT WAYNE, INDIANA

## PUBLISHER'S CLAIM

## LINE COUNT

Display Matter (Must not exceed two actual lines, neither of which shall total more than four solid lines of the type in which the body of the advertisement is set) - number of equivalent lines

Head number of lines

Body number of lines

Tail number of lines

Total number of lines in notice

1

163

2

166

## COMPUTATION OF CHARGES

166 lines, 1 columns wide equals 166 equivalent lines at .300¢ 49.80  
cents per line

Additional charge for notices containing rule or tabular work (50 per cent of above amount)

Charge for extra proofs of publication (50 cents for each proof in excess of two) 4 extra 2.00

TOTAL AMOUNT OF CLAIM.

51.80

## DATA FOR COMPUTING COST

Width of single column 9.6 picas

Size of type: 6 point

Number of insertions 2

Size of quad upon which type is cast: 6

## LEGAL NOTICE

Notice is hereby given on the 11th day of May, 1982, the Common Council of the City of Fort Wayne, Indiana, in a Regular Session did pass the following Bill No. X-02-82-25 X-02-82 Annexation Ordinance, to-wit:

-BILL NO. X-02-82-25  
-ANNEXATION ORDINANCE  
-NO. X-02-82

"AN ORDINANCE annexing certain territory commonly known as Westwood Valley Annexation to Fort Wayne, and including the same in Councilmanic District No. 3."

BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF FORT WAYNE, INDIANA:

SECTION 1. That the following described territory be, and the same hereby, annexed to and made part of the corporation of the City of Fort Wayne, Indiana, to-wit:

Part of the West Half of the Northeast Quarter of Section 33, Township 31 North, Range 12 East, Allen County, Indiana, and more specifically described as follows:

Beginning at the point where the North right-of-way line of West State Boulevard intersects with the 1/4 North Quarter of Section 33, Township 31 North, Range 12 East, Allen County, Indiana, thence North 00 degrees 03 minutes 31 seconds East along the West line of the Northeast Quarter of said Section 33 a distance of 305.90 feet; thence North 65 degrees 47 minutes 05 seconds East a distance of 659.6 feet; thence North 42 degrees 54 minutes 13 seconds East a distance of 287.7 feet; thence North 56 degrees 15 minutes 53 seconds East a distance of 649.3 feet to the East line of the West Half of said Northeast Quarter; thence South 00 degrees 05 seconds East along said East line a distance of 1382.2 feet to the North right-of-way line of West State Boulevard; thence West along the North right-of-way line of West State Boulevard to the point of beginning; area containing 27.6 acres, more or less.

SECTION 2. It is the policy of the City of Fort Wayne to furnish the above described territory within a period of one (1) year from the effective date of annexation, governmental services of a non-capital nature in a manner which is equivalent in standard and scope to those non-capital service areas within the City which have similar topography, patterns of land utilization, and population density to the said described territory. It is also the policy of the City of Fort Wayne to provide services of a capital improvement nature to the annexed territory within three (3) years of the effective date of an-

nexation in the same manner as would be provided to areas already in the City with similar topography, patterns of land utilization and population density, and in a manner consistent with federal, state, and local laws, procedures and planning criteria.

SECTION 3. Governmental and proprietary services will be provided to the above described territory in a manner consistent with the written Fiscal Plan Development and Planning. Said Plan was examined by the Common Council and is approved and adopted by the Common Council by the passage of this Ordinance.

SECTION 4. described territory shall be part of City Councilmanic political Ward #3 of the City of Fort Wayne, Indiana, as described in Division 1, Section 2-9 of Chapter 2 of the Code of the City of Fort Wayne, Indiana of 1974, as amended.

SECTION 5. is Ordinance shall be in full force and effect after its passage, approval by the Mayor and final publication thereof as required by law.

CITY OF FORT WAYNE  
Janet G. Bradbury  
Councilmember

Read the third time in full and on motion by Bradbury, seconded by Sier, and duly adopted, placed on its passage. PASSED by the following vote:

Ayes: Eight  
Bradbury, Burns, Elebert, Gascuola, Schmitt, Schomburg, Sier, Talenico  
Nays: None  
Absent: One  
Nuckolls

ATTEST  
Charles W. Westerman  
City Clerk  
Passed and adopted by the Common Council of the City of Fort Wayne, Indiana, its Annexation Ordinance No. X-02-82 on the 11th day of May, 1982.

ATTEST  
Charles W. Westerman  
Presiding Officer  
Presented by me to the Mayor of the City of Fort Wayne, Indiana, on the 12th day of May, 1982, at the hour of 11:00 A.M., E.S.  
Charles W. Westerman  
City Clerk

Approved and signed by me this 13th day of May, 1982, at the hours of 4:00 o'clock P.M., E.S.  
Win Moses, Jr.  
Mayor

I, Charles W. Westerman, Clerk of the City of Fort Wayne, Indiana, do hereby certify that the above and foregoing is a full, true and complete copy of Annexation Ordinance No. X-02-82 passed by the Common Council on the 11th day

of May, 1972 1982, and that said Ordinance was duly signed and approved by the Mayor on the 13th day of May, 1982 and now remains on file and on record in my office.

WITNESS my hand, and the official seal of the City of Fort Wayne, Indiana, this 13th day of May, 1982.

CHARLES W. WESTERMAN  
CITY CLERK  
5/19-82

ly due, after allowing all just credits, and that no part of the same

*Amelia De Told*

Title CLERK

## PUBLISHER'S AFFIDAVIT

ma  
nty SS:

appeared before me, a notary public in and for said county and state, the

ARVILLA DEWALD who, being duly sworn, says

CLERK of the

JOURNAL-GAZETTE

DAILY newspaper of general circulation printed and published

lish language in the city of FORT WAYNE, INDIANA

and county aforesaid, and that the printed matter attached hereto is a true copy,

duly published in said paper for two times the dates of publication being

5/19 - 5/26/82

and sworn to before me this 26th day of May 1982

November 29, 1985

sion expires



Fort Wayne Common Council

(Governmental Unit)

Allen

County, Ind.

To JOURNAL-GAZETTE Dr.

FORT WAYNE, INDIANA

## PUBLISHER'S CLAIM

## LINE COUNT

Display Matter (Must not exceed two actual lines, neither of which shall total more than four solid lines of the type in which the body of the advertisement is set) - number of equivalent lines

Head number of lines

Body number of lines

Tail number of lines

Total number of lines in notice

1

163

2

166

## COMPUTATION OF CHARGES

166 lines, 1 columns wide equals 166 equivalent lines at .300¢ \$ 49.80  
cents per line

Additional charge for notices containing rule or tabular work (50 per cent of above amount)

Charge for extra proofs of publication (50 cents for each proof in excess of two)

4 extra

TOTAL AMOUNT OF CLAIM.

\$ 51.80

## DATA FOR COMPUTING COST

Width of single column 9.6 picas

Size of type 6 point

Number of insertions 2

Size of quad upon which type is cast 6

Pursuant to the provision and penalties of Ch. 89., Acts 1967.

I hereby certify that the foregoing account is just and correct, that the amount claimed is legally due, after allowing all just credits, and that no part of the same has been paid.

Arvilla Dewald

Date May 26 82

Title CLERK

Form 904

## PUBLISHER'S AFFIDAVIT

State of Indiana

ALLEN County SS:

Personally appeared before me, a notary public in and for said county and state, the undersigned, ARVILLA DEWALD, who, being duly sworn, says that she is CLERK of the

JOURNAL-GAZETTE

a DAILY newspaper of general circulation printed and published in the English language in the city of FORT WAYNE, INDIANA town

in state and county aforesaid, and that the printed matter attached hereto is a true copy, which was duly published in said paper for two times, the dates of publication being as follows: 5/19 - 5/26/82

Subscribed and sworn to before me this 26th day of May 1982

My commission expires November 29, 1985

Notary Public

